



GENERAL NOTES

- THE INTENT OF THE CONTRACT DOCUMENTS IS TO DEFINE THE NEW CONSTRUCTION AND THE ALTERATION OF EXISTING FACILITIES IN THE SCOPE OF WORK IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (C.C.R.) TITLE 24.
- THE SPECIFICATIONS ARE A VITAL PART OF THESE CONTRACT DOCUMENTS. THE CONTRACTOR AND THEIR PERSONNEL SHALL BECOME INTIMATELY FAMILIAR WITH THE SPECIFICATIONS PRIOR TO BIDDING THE PROJECT AND STARTING ANY CONSTRUCTION.
- ALL WORK SHOWN IS NEW UNLESS OTHERWISE NOTED OR GRAPHICALLY INDICATED AS EXISTING.
- DIMENSIONING CONVENTION (UNLESS OTHERWISE NOTED): EXTERIOR WALLS = FACE OF SHEATHING OR CENTERLINE OF STEEL; FACE OF CONCRETE MASONRY; FACE OF CONCRETE, INTERIOR PARTITIONS = FACE OF GWB OR CENTER LINE OF STUD AS NOTED ON THE DRAWINGS.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK AND ADVISE THE ARCHITECT OF ANY DEVIATIONS SUFFICIENTLY IN ADVANCE TO ALLOW RESOLUTION PRIOR TO AFFECTING RELATED WORK.
- DO NOT SCALE THESE DRAWINGS. MATERIAL QUANTITY TAKEOFFS SHALL BE DETERMINED BY THE CONTRACTORS AND SHALL BE BASED ON DRAWING DIMENSIONS. IF A DIMENSION IS MISSING THAT PRECLUDES THE CONTRACTOR'S ABILITY TO PREPARE AN ACCURATE BID, THAT OFFICER SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID SUBMISSION.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE TO IT THAT ALL MATERIALS AND/OR WORK DESCRIBED, DETAILLED, OR DETAILLED WITHIN THESE DOCUMENTS BE FURNISHED AND/OR INSTALLED REGARDLESS OF THAT LOCATION OF THE MATERIAL OR WORK WITHIN THE DOCUMENTS. WORK OMITTED BY A SUBCONTRACTOR OR HIS/HER BID BUT SHOWN WITHIN THESE DOCUMENTS SHALL BE CONSIDERED COVERED BY THE GENERAL CONTRACTOR.
- ALL CONTRACTORS, WHETHER THE GENERAL OR SUBCONTRACTOR, SHALL CONSIDER THESE DOCUMENTS IN THEIR ENTIRETY. DISCREPANCIES OR CONTRADICTIONS BETWEEN PORTIONS OF THESE DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTORS ARE RESPONSIBLE FOR MAINTAINING TEMPORARY FENCING AND GATES, SIGNAGE, SECURITY LIGHTING, OR OTHER SECURITY AND CONTROL MEASURES NECESSARY TO PROVIDE FOR THE SAFETY OF THE STAFF AND VISITORS OF THE ADJACENT TENANT UNTIL THE COMPLETION OF THE WORK UNLESS OTHERWISE DETERMINED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR REVIEWING TEMPORARY FENCING WITH THE LOCAL FIRE DEPARTMENT.
- THE CONTRACTORS ARE RESPONSIBLE TO REPAIR AND/OR REPLACE IN KIND ALL PROPERTY DAMAGED DURING THE COURSE OF THE WORK.
- THE CONTRACTOR SHALL LIMIT HIS/HER ACTIVITY TO THE AREA DESCRIBED WITHIN THE DOCUMENTS SO AS TO LIMIT HIS/HER LIABILITY FOR DAMAGED PROPERTY UNLESS OTHERWISE PERMITTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO ALL CODES LISTED IN THESE DOCUMENTS, AS WELL AS ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION WHETHER EXPLICITLY LISTED IN THE DOCUMENTS OR NOT.
- WHEN DETAILS LABELED "TYPICAL (TYP)" OR "SIMILAR (SIM)" ARE GIVEN ON DRAWINGS, THE CONTRACTOR SHALL APPLY THE INTENT OF THE DETAIL TO ALL INSTANCES OF THAT SPECIFIC CONDITION.
- CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR THE ORDER AND MEANS OF CONSTRUCTION AND ALL TEMPORARY BRACING AND ERECTION DURING CONSTRUCTION.
- APPROVALS BY BUILDING INSPECTORS AND/OR THE OWNER SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.
- COMPOSITE WOOD PRODUCTS: SHALL MEET CARB AIR TOXICS CONTROL MEASURES FOR COMPOSITE WOODS CM 4.1 IN TABLE 4.504.3
- INTERIOR PAINTS AND COATINGS: COMPLY W/ VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS - CAL GREEN TABLE 4.504.3
- LOW VOC AEROSOL PAINTS: MEET BAAQMD VOC LIMITS (REGULATION 8, RULE 49) AND PRODUCT WEIGHTED MIR LIMITS FOR ROC - CAL GREEN 4.504.2.3
- LOW VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS: MEET SCAQMD RULE 1188 - CAL GREEN TABLES 4.504.1 & 4.504.2 (CAL GREEN 4.504.2.1)
- MOISTURE CONTENT OF BUILDING MATERIALS: VERIFY WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE. MATERIALS W/ VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. MOISTURE CONTENT SHALL BE VERIFIED PER CAL GREEN 4.504.3
- BUILDING IS IN THE WILDLAND-URBAN INTERFACE ZONE AND SHALL COMPLY WITH THE PROVISIONS OF CBC CHAPTER 7A

CONSTRUCTION WASTE

- CONSTRUCTION WASTE SHALL BE RECYCLED AND DOCUMENTED PER REQUIREMENTS OF ZERO WASTE MARIN
- ALL UNIVERSAL WASTE SHALL BE DISPOSED OF PROPERLY AND DOCUMENTATION / VERIFICATION SHALL BE PROVIDED TO THE OWNER AND BUILDING OFFICIAL.

Universal wastes are:

- Electronic devices: Includes any electronic device that is a hazardous waste (with or without a Cathode Ray Tube (CRT)), including televisions, computer monitors, cell phones, VCRs, computer CPUs and portable DVD players.
- Batteries: Most household-type batteries, including rechargeable nickel-cadmium batteries, silver button batteries, mercury batteries, alkaline batteries and other batteries that exhibit a characteristic of a hazardous waste
- Electric lamps: Fluorescent tubes and bulbs, high intensity discharge lamps, sodium vapor lamps and electric lamps that contain added mercury, as well as any other lamp that exhibits a characteristic of a hazardous waste. (e.g., lead).
- Mercury-containing equipment: Thermostats, mercury switches, mercury thermometers, pressure or vacuum gauges, dilators and weighted tubing, mercury rubber flooring, mercury gas flow regulators, dental amalgams, counterweights, dampers and mercury added novelties such as jewelry, ornaments and footwear.
- CRTs: The glass picture tubes removed from devices such as televisions and computer monitors.
- CRT glass: A cathode ray tube that has been accidentally broken or processed for recycling.
- Non-empty aerosol cans

DIMENSIONING CONVENTIONS

- EXCEPT WHERE DIRECTED TO PLACE ITEMS OF THE WORK AT THE "APPROXIMATE LOCATION SHOWN," DO NOT SCALE DRAWINGS FOR DIMENSIONAL INFORMATION. ALL ELEMENTS OF THE DRAWINGS MAY NOT BE DRAWN TO EXACT SCALE. ALL DIMENSIONS REQUIRED ARE SHOWN, OR MAY BE DERIVED FROM THOSE SHOWN, ON THE FLOOR PLANS, DETAIL PLANS, ELEVATIONS, SECTIONS, DETAILS, SCHEDULES, AND SPECIFICATIONS. SEE NOTES ON THIS SHEET AND SYMBOLS ON "ARCHITECTURAL SYMBOLS" DRAWING FOR DIMENSION CONVENTIONS USED ON THIS PROJECT.
- ALL GRIDLINES ARE TO CENTER OF STUD UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS:
  - DIMENSIONS UTILIZING THE "CENTER LINE" SYMBOL ARE MEASURED TO:
    - STRUCTURAL OR DIMENSIONAL GRID LINES.
    - CENTER LINE OF CONCRETE OR CONCRETE MASONRY UNIT WALL (EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS OR FURRING). REFER TO THE ARCHITECTURAL PLANS AND SECTIONS, THE STRUCTURAL DRAWINGS, OR THE PARTITION SCHEDULE TO DETERMINE THE THICKNESS OF CONCRETE OR CONCRETE MASONRY UNIT WALLS.
    - CENTER LINE OF INTERIOR PARTITION ASSEMBLY (EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS WHICH MAY BE ADDED TO SUCH WALLS) AT PARTITIONS FRAMED WITH WOOD OR METAL STUDS.
    - CENTER LINE OF DOOR, WINDOW, OR LOUVER OPENING.
    - CENTER LINE OF EQUIPMENT OR FURNISHING.
    - CENTER LINE OF OTHER FEATURES AS INDICATED.
  - DIMENSIONS UTILIZING THE "FACE OF" SYMBOL ARE MEASURED TO:
    - FACE OF CONCRETE OR CONCRETE MASONRY UNIT WALL (EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS OR FURRING WHICH MAY BE ADDED TO SUCH WALLS).
    - FACE OF EXTERIOR STUDS (EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS WHICH MAY BE ADDED TO SUCH WALLS).
    - FACE OF INTERIOR PARTITIONS ASSEMBLY (EXCLUSIVE OF APPLIED FINISHES HAVING THICKNESS WHICH MAY BE ADDED TO SUCH WALLS), UNLESS NOTED AS A "FACE OF FINISH" OR "CLEAR" DIMENSION (SEE NOTES BELOW). DIMENSIONS ARE NOT MEASURED TO THE FACE OF APPLIED FINISH.
    - INSIDE EDGE OF FINISHED DOOR OPENING. REFER TO "DOOR SCHEDULE" FOR ADDITIONAL INFORMATION.
    - DIMENSION OR WORK POINT AS INDICATED ON RELATED ARCHITECTURAL DETAIL PLAN, SECTION, ELEVATION, CONFIGURATION DETAIL OR CONSTRUCTION DETAIL.
  - WHERE "FACE OF FINISH" OR "CLEAR" DIMENSIONS ARE SPECIFICALLY NOTED, DIMENSION IS MEASURED TO:
    - FINISH FACES AT THE MOST NARROW OR CONSTRICTED POINTS OF THE SECTION WHERE THE DIMENSION IS SHOWN WHEN THE DIMENSION OCCURS ACROSS AN OPEN SPACE: IN THIS CASE, A "FACE OF FINISH" DIMENSION IS EQUIVALENT TO A "CLEAR" DIMENSION.
    - FINISH FACES AT THE WIDEST OR MOST EXPANSIVE POINTS OF THE SECTION WHERE THE DIMENSION IS SHOWN WHEN THE DIMENSION OCCURS ACROSS AN OBJECT OR GROUP OF OBJECTS.
  - DOORS IN NEW OPENINGS TO BE CENTERED BETWEEN PERPENDICULAR WALLS OR LOCATED WITH A SIDE JAMB 4" FROM A PERPENDICULAR WALL FINISH, UON.

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DRAWING LIST

T0.0	COVER SHEET
T1.0	PROJECT INFORMATION
A0.00	EXISTING SITE SURVEY
A0.1	DEMOLITION PLAN
A0.1.1	OFF SITE DEMOLITION PLAN
A1.0	SITE PLAN
A1.0.1	OFF SITE AND BRIDGE PLAN
A1.0.2	COURTYARD PLAN
A1.0.3	SITE LIGHTING
A1.1	FLOOR PLAN - LEVEL 1
A1.2	FLOOR PLAN - LEVEL 2
A1.3	FLOOR PLAN - LEVEL 3
A1.4	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR VIEWS
A3.0	BUILDING SECTIONS
A3.1	BUILDING SECTIONS
A3.2	BLDG SECTION / INTERIOR VIEWS

ABBREVIATIONS

AB, ANCHOR BOLT  
A.F.F. ABOVE FINISHED FLOOR  
AGGR. AGGREGATE  
ALUM. ALUMINUM  
ALT. ALTERNATE  
ANOD. ANODIZED  
APPROX. APPROXIMATE  
ARCH. ARCHITECTURAL  
  
BD, BOARD  
BLDG. BUILDING  
BLK. BLOCK  
BLKG. BLOCKING  
BM, BEAM  
BOT. BOTTOM  
BTWN. BETWEEN  
B.U.R. BUILT UP ROOFING  
B.W. BOTH WAYS

C.J. CONTROL JOINT  
CLG. CEILING  
CLKG. CAULKING  
CLR. CLEAR  
C.M.U. CONCRETE MASONRY UNIT  
COL. COLUMN  
CONC. CONCRETE  
CONN. CONNECTION  
CONSTR. CONSTRUCTION  
CONT. CONTINUOUS  
C.T. CERAMIC TILE

DEG. DEGREE  
DET/DTL DETAIL  
D.F. DRINKING FOUNTAIN  
DIAG. DIAGONAL  
DIA. DIAMETER  
DN. DOWN  
DS. DOWNSPOUT  
DWG. DRAWING

E. EAST  
(E) EXISTING  
EA. EACH  
E.J. EXPANSION JOINT  
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM  
EL. ELEVATION  
ELEC. ELECTRICAL  
ELEV. ELEVATOR  
EMER. EMERGENCY  
ENCL. ENCLOSURE  
EQ. EQUIPMENT  
EXT. Exterior  
F.A. FIRE ALARM  
F.D. FLOOR DRAIN  
F.D.C. FIRE DEPARTMENT CONNECTION  
FDM/FND FOUNDATION  
F.E. FIRE EXTINGUISHER  
F.E.C. FIRE EXTINGUISHER CABINET  
F.F. FINISH FLOOR  
F.F.E. FINISH FLOOR ELEVATION  
F.H.C. FIRE HOSE CABINET  
FIN. FINISH  
FL. FLOW LINE  
FLR. FLOOR  
FLUOR. FLUORESCENT  
F.O.B. FACE OF BRICK  
F.O.C. FACE OF CONCRETE  
FT. FOOT OR FEET  
FTG. FOOTING  
FURR. FURRING

G.A. GAUGE  
GALV. GALVANIZED  
G.C. GENERAL CONTRACTOR  
GL. GLASS  
GLB. GLUE LAM BEAM  
GR. GRADE  
GYP. GYPSUM  
GYP BD. GYPSUM BOARD  
GSM. GALVANIZED SHEET METAL

H.B. HOSE BIB  
H.C. HOLLOW CORE  
H/C. HANDICAPPED  
HDWD. HARDWOOD  
HDWE. HARDWARE  
H.M. HOLLOW METAL  
HR. HOUR  
HT. HEIGHT  
HVAC. HEATING VENTILATION AIR CONDITIONING  
HW. HOT WATER

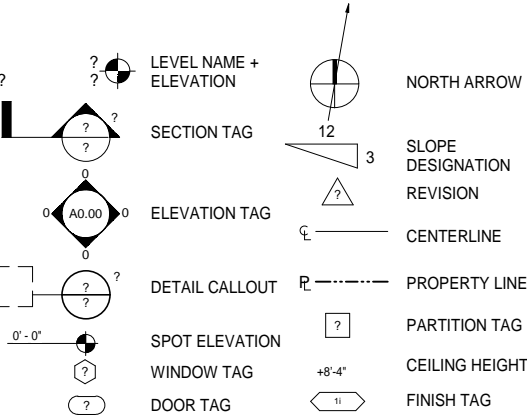
I.D. INSIDE DIAMETER

INSUL. INSULATION  
INT. INTERIOR  
JAN. JANITOR  
J.H. JOIST HANGER  
JNT. JOINT  
JST. JOIST

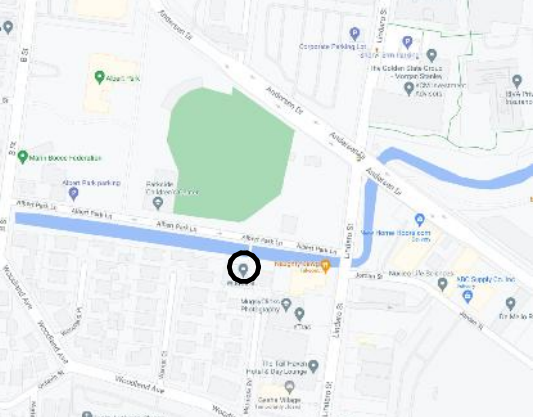
KIT. KITCHENLAB

LAB. LABORATORY  
LAM. LAMINATE  
LAV. LAVATORY  
LT. LIGHT

SYMBOLS



LOCATION MAP



PROJECT INFO

THE PROJECT INCLUDES THE DEMOLITION OF ALL NON-HISTORIC BUILDINGS, STRUCTURES, AND CAGING ON THE EXISTING WILDCARE PROPERTY LOCATED AT 76 ALBERT PARK LANE. THE RELOCATION AND RESTORATION OF THE HISTORIC TERWILLIGER BUILDING, AND THE CONSTRUCTION OF A NEW THREE STORY BUILDING AND CAGING ON THE EXISTING SITE.

THE PROJECT REPLACES EXISTING OUTDATED, UNDERSIZED FACILITIES WITH NEW, CODE COMPLIANT ANIMAL HOSPITAL, EDUCATIONAL, AND ANIMAL HOUSING FACILITIES. THE PROJECT ALSO INCLUDES REPLACEMENT OF THE EXISTING PEDESTRIAN BRIDGE OVER SAN RAFAEL CREEK, ALONG WITH CREEK MITIGATION AS REQUIRED ALONG THE SECTION OF CREEK FRONTING THE PROPERTY.

SITE ADDRESS: 76 ALBERT PARK LANE  
SAN RAFAEL, CA 94901

LEGAL DESCRIPTION: APN: 013-061-54  
LOT SIZE: 0.36 ACRES (15,085 SF) - 60%  
ALLOWABLE LOT COVERAGE: 60%

SETBACKS: FRONT - 15'  
SIDE - 5'  
REAR - 5' STREET  
CREEK - 25'

MAX BLDG HEIGHT: 36'  
FAR: 1.0  
ZONING: HR1.5  
MULTI-FAMILY RESIDENTIAL  
DISTRICTS HIGH DENSITY

USE: WILDLIFE ANIMAL HOSPITAL AND  
EDUCATIONAL FACILITY

OCCUPANCY GROUP: B (HOSPITAL &  
ADMINISTRATIVE AREAS)

STORIES: 3 STORIES

AREAS: BUILDING: 11,405 SF  
CAGING: 4,570 SF (ON ROOFS)  
1,625 SF (ON GROUND)

FLOOD ZONE: AE WITH BFE 11'

EXISTING SITE GRADES: 7.5' - 9.5'

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA FIRE CODE

ALONG WITH OTHER APPLICABLE LOCAL, STATE AND  
FEDERAL LAWS AND REGULATIONS



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NOT FOR  
CONSTRUCTION

ARCHITECT / ENGINEER STAMP

SCHEMATIC DESIGN &  
PLANNING SUBMITTAL  
ISSUE / REVISION

Date Description No.

11.29.22 SCHEMATIC DESIGN &  
PLANNING  
SUBMITTAL REVISED

PROJECT NO.

20011

DATE

11.29.22

SCALE

1/4" = 1'-0"

SHEET TITLE

COVER SHEET

SHEET NO.

T0.0





76 ALBERT PARK LANE  
SAN RAFAEL, CA 94901  
APN:XXX

## Fairchild Broms Design

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### SCHEMATIC DESIGN & PLANNING SUBMITTAL

#### ISSUE / REVISION

Date	Description	No.
11.29.22	SCHEMATIC DESIGN & PLANNING SUBMITTAL REVISED	

PROJECT NO. 20011

DATE 11.29.22

SCALE

SHEET TITLE

### PROJECT INFORMATION

SHEET NO.

T1.0

### PROJECT CODE SUMMARY

Issue	Item	Code Reference
1. Occupancy Groups:	Room(s)	Occupancy
	Terwilliger Center Historic Bldg Multi-purpose Room	B – Small Assembly classified as B Occupancy
	Courtyard Ambassador Caging	B
	Hospital First Floor Hospital Support Administrative Space Caging	B B B
	Second Floor Hospital Caging	B B
	3rd Floor / Roof Caging	B
2. Occupancy Separations	N / A	Table 508.4
3. Special Requirements Based on Occupancy	Wild Animal Quarantine Facilities	Sec. 1237
	Veterinary Facilities	Sec. 1251
	Medical Gas Systems	Sec 427

Actual Floor Area:	Building 11,405 SF	Hospital Caging (Total): 4,579 SF
Total Building Area: 11,405 SF	1st Floor: 6,776 SF + 6'3" SF = 7,389 SF 2nd Floor: 5,212 SF 3rd Floor / Roof: 824 SF *Covered Caging Area Included in Bldg Area	6'3" SF 1,693 SF 2,264 SF
	Open Courtyards: 278 SF + 1,302 SF = 1,580 SF	Ambassador Caging: (Total): 1,825 SF
Allowable Floor Area: Sprinklered / Multi Story Type VB Sprinklered	B Occupancy 27,000 SF	No increases for street frontage
Allowable Bldg Ht / Stories	60' / 3	

1. Construction Type	Type VB			Chapter 6
2. Exterior Wall	Separation Distance	Rating	Opening Protection	
Wall Construction	5' <= 10'	1 Hr	Unprotected, Sprinklered	Table 601
	10' <= <20'	0 Hr		Table 705.5
Openings	5' <= 10'		25%	Table 705.8
Allowable Areas	10' <= <15'		45%	
	15' <= <20'		75%	
Projections				Sec. 705.2
3. Fire Resistive Requirements by Construction Type	Element		Hours	Table 601
			Type VB	
	Primary Structural frame		0	Table 601
	Bearing walls – exterior		0	Table 601
	Bearing walls – interior		0	Table 601
	Nonbearing walls and partitions – exterior		0	Table 705.5
	Nonbearing walls and partitions – interior		0	Table 601
	Floor construction & associated secondary members		0	Table 601
	Roof construction & associated secondary members		0	Table 601

### PROJECT DATA

#### Development Standards – Project Data

Parcel #: 013-061-54  
Lot Size: 15,085 SF (0.36 Acres)

Description / Standard	Existing	Proposed
Project Site Area	15,085 SF	15,085 SF
Building Area	4,505 SF	11,405 SF
Hospital Caging Area	3,775 SF (on Ground)	4,579 SF (on Bldg Roofs)
Ambassador Caging Area	2,189 SF (on Ground)	1,625 SF (on Ground)
Courtyard Areas	1,288 SF	1,580 SF + 1,237 SF (OFFG)
Lot Coverage (Max 60%)	65% (9,740 SF)	60% (9,051 SF)
Front Setback (15')	*1,674 SF Caging Area in Setback	15'
Side Setback (15')	*805 SF Caging (669 SF) & Bldg (136 SF) Area in Setbacks	5'
Rear Setback (5' – Street)	*122 SF Caging Area in Setback	5'
Total Setback Encroachment	7,601 SF	0 SF
Creek Setback (25')	*2,076 SF Caging Area in Setback	*258 SF Caging (583 SF) & Bldg (175 SF) Area in Setback (Bldg Area is Historic Bldg)
Reduction in Area to Creek Setback: 62%		
Building Height Limit (36') (Measured from Grade 9.0')	30' – 7"	24' – 0" Top of Roof 26' – 0" Top of Pentapet 40' – 0" Top of Stair Penthouse
FAR (Max 1.0 = 15,085 SF)	4,505 SF (0.30)	11,405 SF (0.76)
Parking	None	None
Flood Zone (RFE 11')	0' – 11.75'	12'
Flood Req 12' or Flood-protected		

\*Indicates non-compliant construction

### PLUMBING FIXTURE COUNT CALCULATIONS

Toilet Fixtures		
Occupant Loads		
A Occupancy 45 (22 M / 23 F)		
B Occupancy 28 (15 M / 13 F)		
Required Plumbing Fixtures		
A-3 OCCUPANCY		
Water Closets	Urinals	Lavatories
1 M (1:100)	1 M (1:100)	1 W (1:200)
1 F (1:25)		1 F (1:100)
B, S OCCUPANCY		
1 M (1:50)	1 M (1:100)	1 W (1:75)
1 F (1:15)		1 F (1:50)



wildcare



76 ALBERT PARK LANE  
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### SCHEMATIC DESIGN & PLANNING SUBMITTAL

ISSUE / REVISION  
Date Description No.

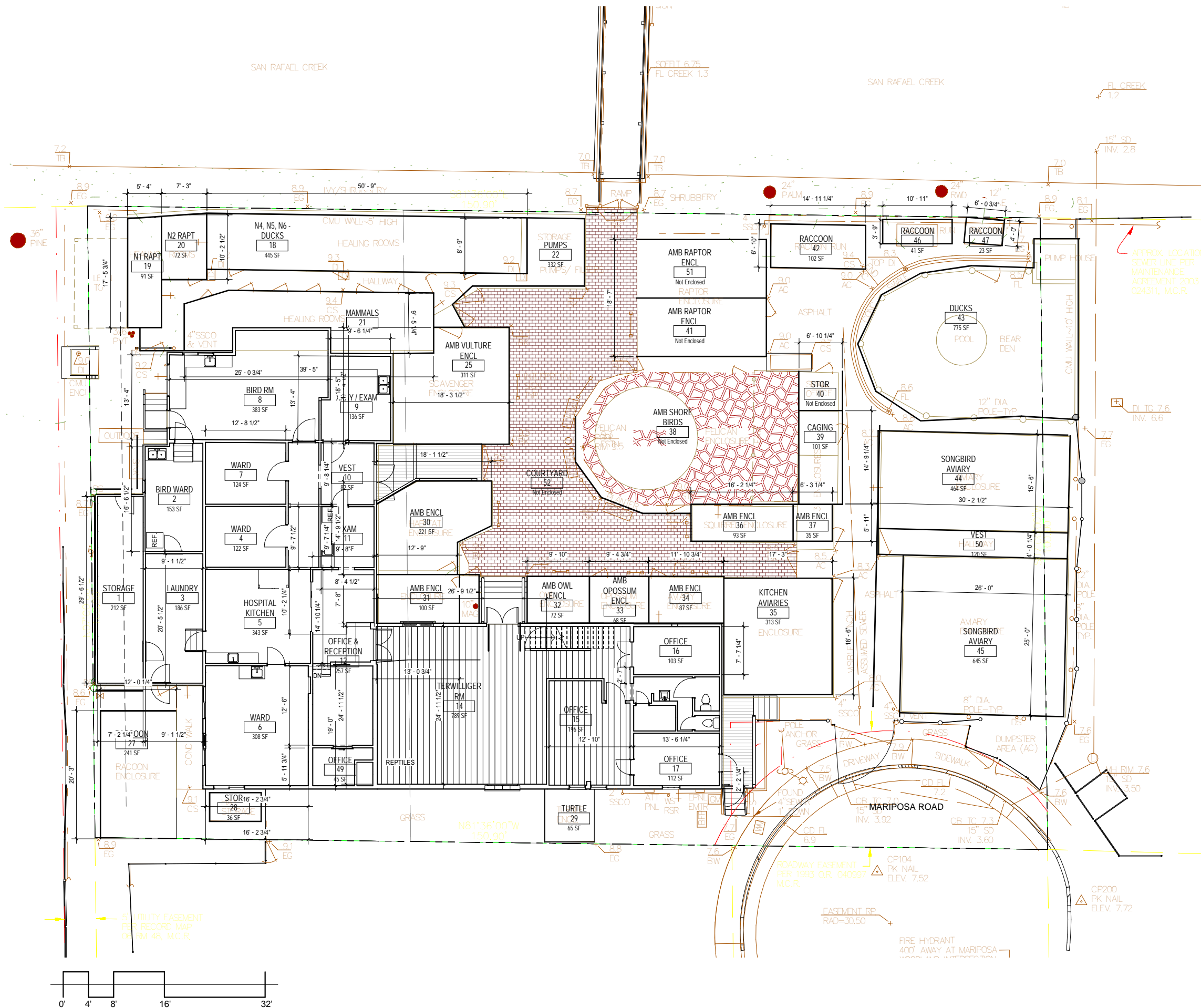
PROJECT NO. 20011  
DATE 06.20.21  
SCALE 1/8" = 1'-0"  
SHEET TITLE

EXISTING SITE  
SURVEY

SHEET NO.

A0.00

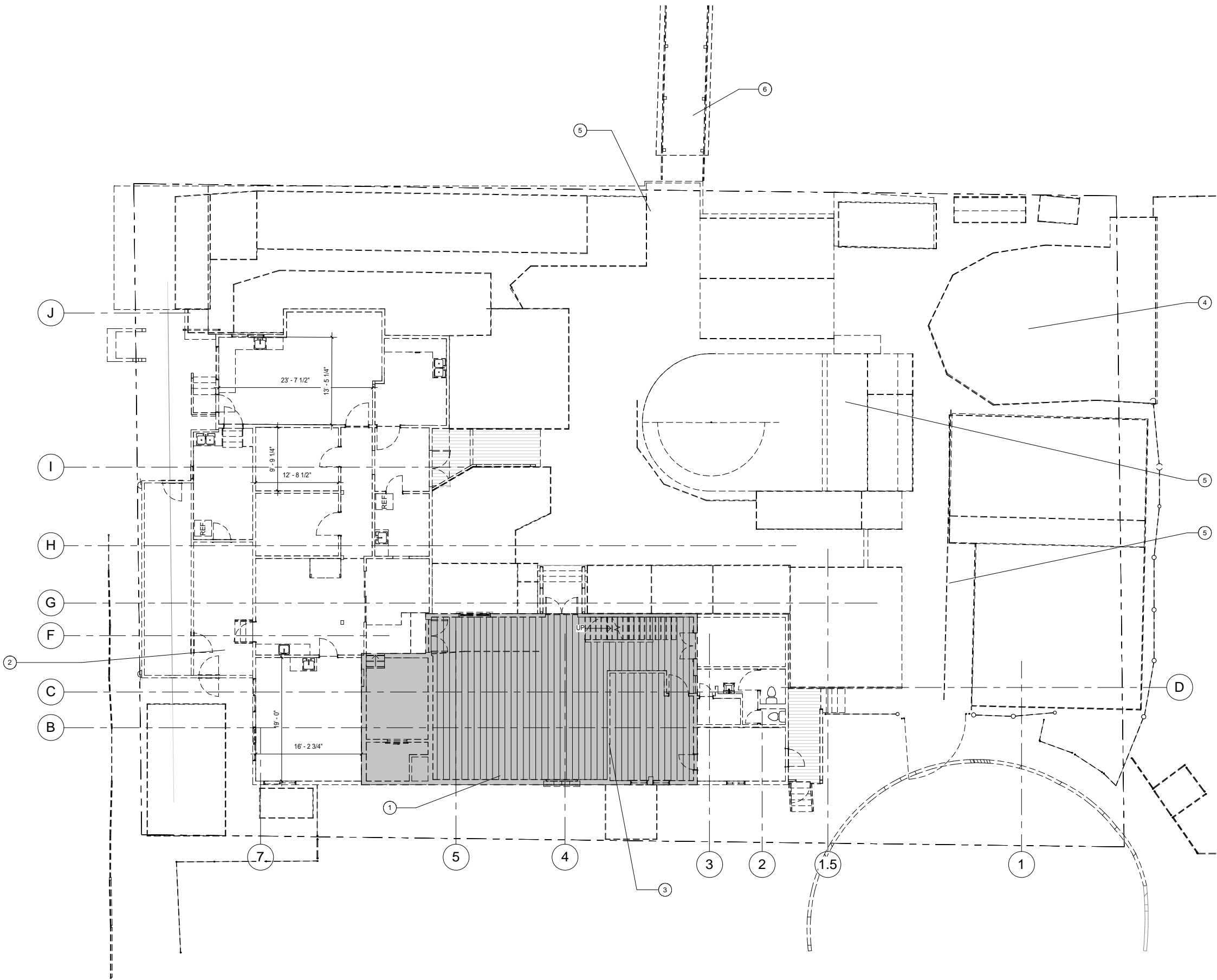
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EXISTING SITE SURVEY PLAN

SCALE: 1/8" = 1'-0"

A1



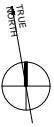
KEY NOTES

- 1 EXISTING HISTORIC STRUCTURE TO BE PRESERVED AND RELOCATED (SHOWN SHADED); EXTERIOR WALLS ASSEMBLIES, WINDOWS, TRIMS, DOORS, FLOOR AND ROOF FRAMING, FLOORING, AND ROOFING TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 2 REMOVE ALL (E) BUILDINGS & STRUCTURES, INCLUDING CAGING, SHED STRUCTURES, & MISCELLANEOUS FENCING
- 3 REMOVE (E) CASEWORK, GWB / FURRING, INTERIOR FINISHES, STAIR CONSTRUCTION, DOORS, PLUMBING FIXTURES, ELECTRICAL SYSTEMS, MEZZANINE, INTERIOR WALLS UON, AND HVAC SYSTEMS.
- 4 REMOVE ALL EQUIPMENT, PLUMBING, & POOLS
- 5 REMOVE ALL CONCRETE, ASPHALT, & UNIT PAVING
- 6 REMOVE (E) PEDESTRIAN BRIDGE

DEMOLITION PLAN - LEVEL 1 &  
SITE

SCALE: 1/8" = 1'-0"

A1



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Broms  
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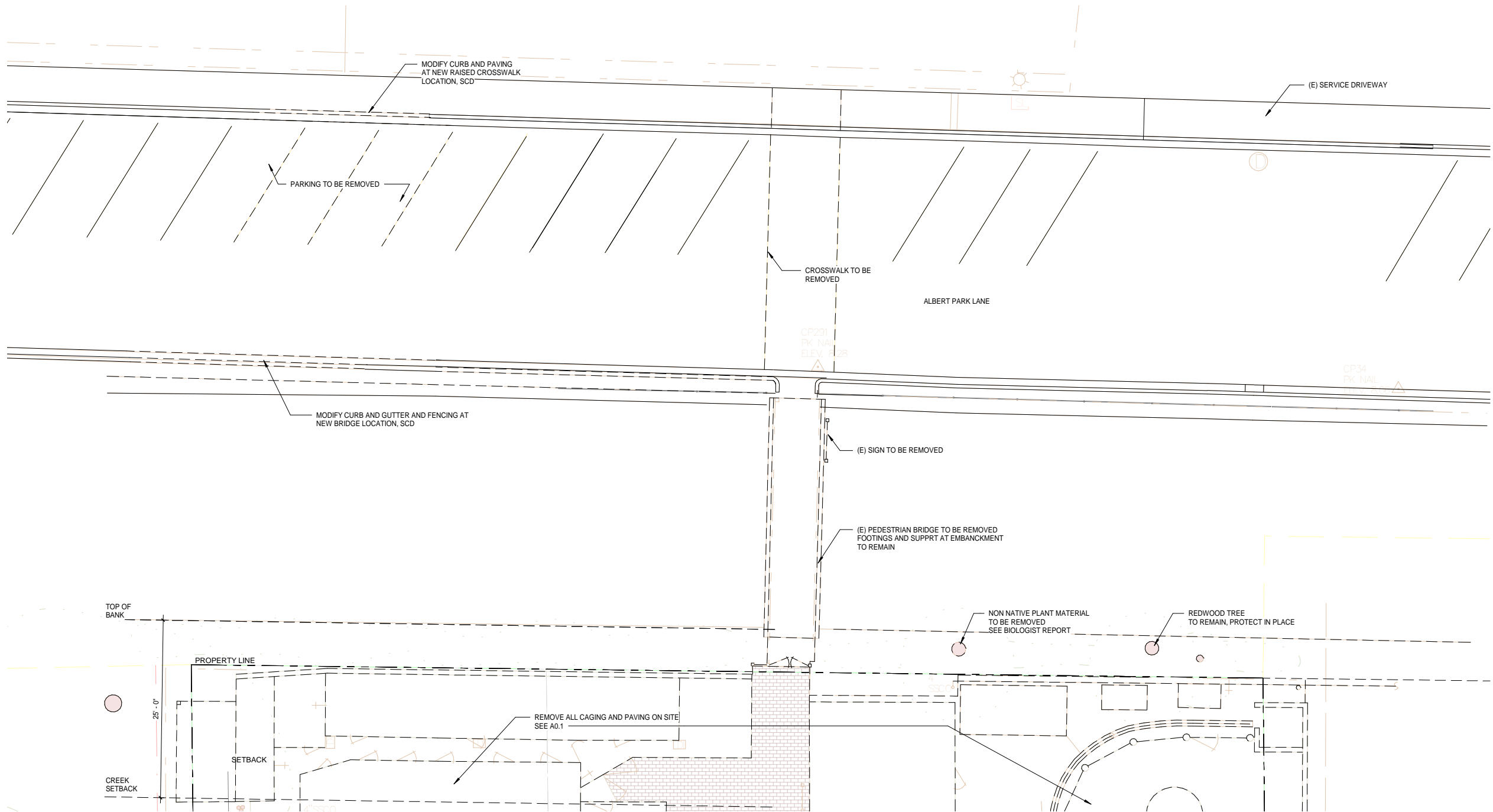
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SHEET TITLE

DEMOLITION PLAN

SHEET NO.

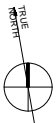
A0.1



OFFSITE DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

A1



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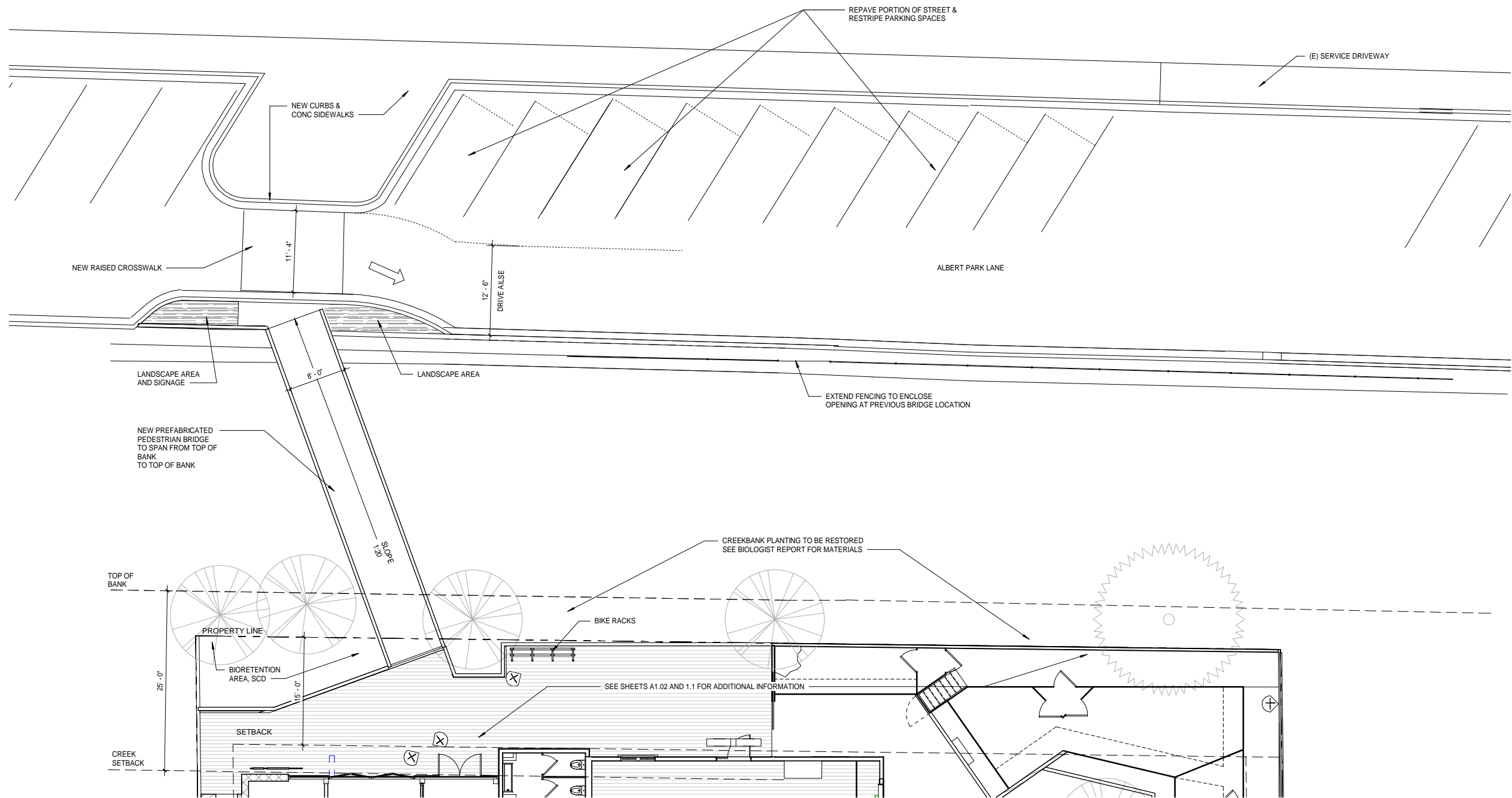
SCALE 1/8" = 1'-0"

SHEET TITLE

OFF SITE  
DEMOLITION PLAN

SHEET NO.

A0.1.1



OFFSITE PLAN  
SCALE: 1/8" = 1'-0"

A1



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SCALE 1/8" = 1'-0"

SHEET TITLE

OFF SITE AND  
BRIDGE PLAN

SHEET NO.

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PHOTO REFERENCES



AVIARY FRAME W/ MESH



PERFORATED AVIARY BACK WALL



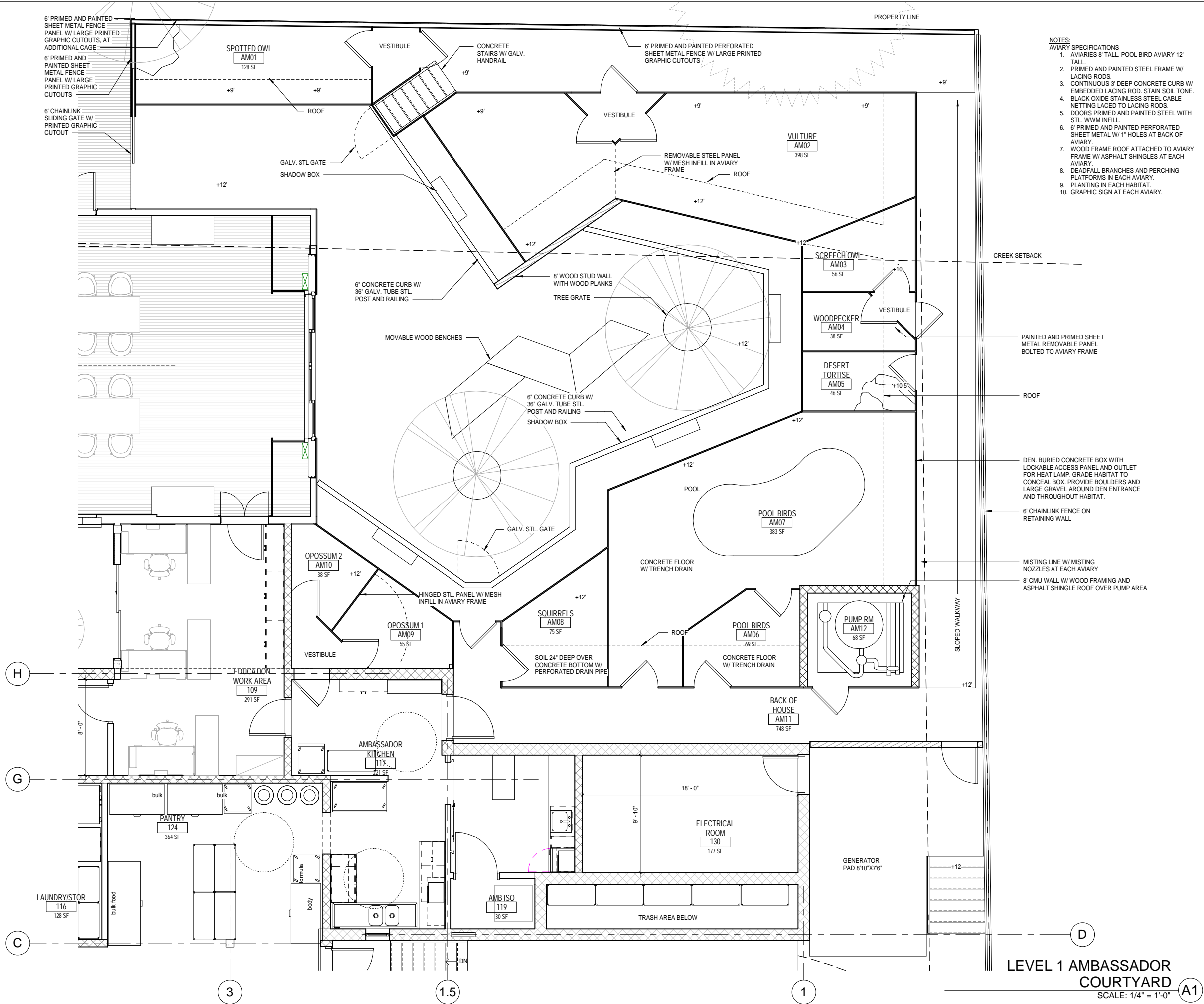
RAILING



FOUNTAIN



MOVABLE BENCHES



- NOTES:  
AVIARY SPECIFICATIONS
1. AVIARIES 8' TALL. POOL BIRD AVIARY 12' TALL.
  2. PRIMED AND PAINTED STEEL FRAME W/ LACING RODS.
  3. CONTINUOUS 3" DEEP CONCRETE CURB W/ EMBEDDED LACING ROD. STAIN SOIL TONE.
  4. BLACK OXIDE STAINLESS STEEL CABLE NETTING LACED TO LACING RODS.
  5. DOORS PRIMED AND PAINTED STEEL WITH STL. WWM INFILL.
  6. 6' PRIMED AND PAINTED PERFORATED SHEET METAL W/ 1" HOLES AT BACK OF AVIARY.
  7. WOOD FRAME ROOF ATTACHED TO AVIARY FRAME W/ ASPHALT SHINGLES AT EACH AVIARY.
  8. DEADFALL BRANCHES AND PERCHING PLATFORMS IN EACH AVIARY.
  9. PLANTING IN EACH HABITAT.
  10. GRAPHIC SIGN AT EACH AVIARY.



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SCALE 1/4" = 1'-0"

SHEET TITLE

COURTYARD PLAN

SHEET NO.

A1.0.2







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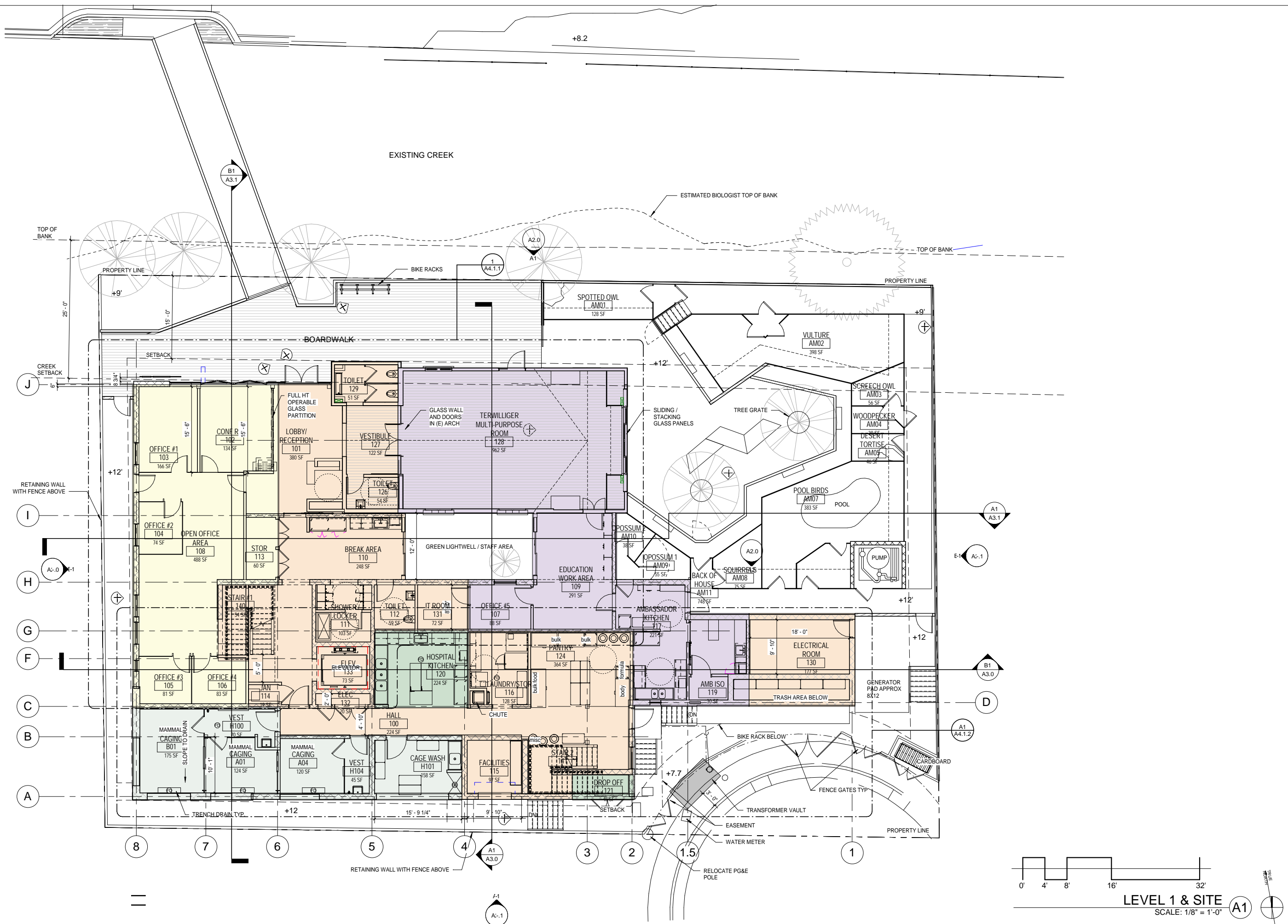
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FLOOR PLAN -  
LEVEL 1

SHEET NO.

## A1.1

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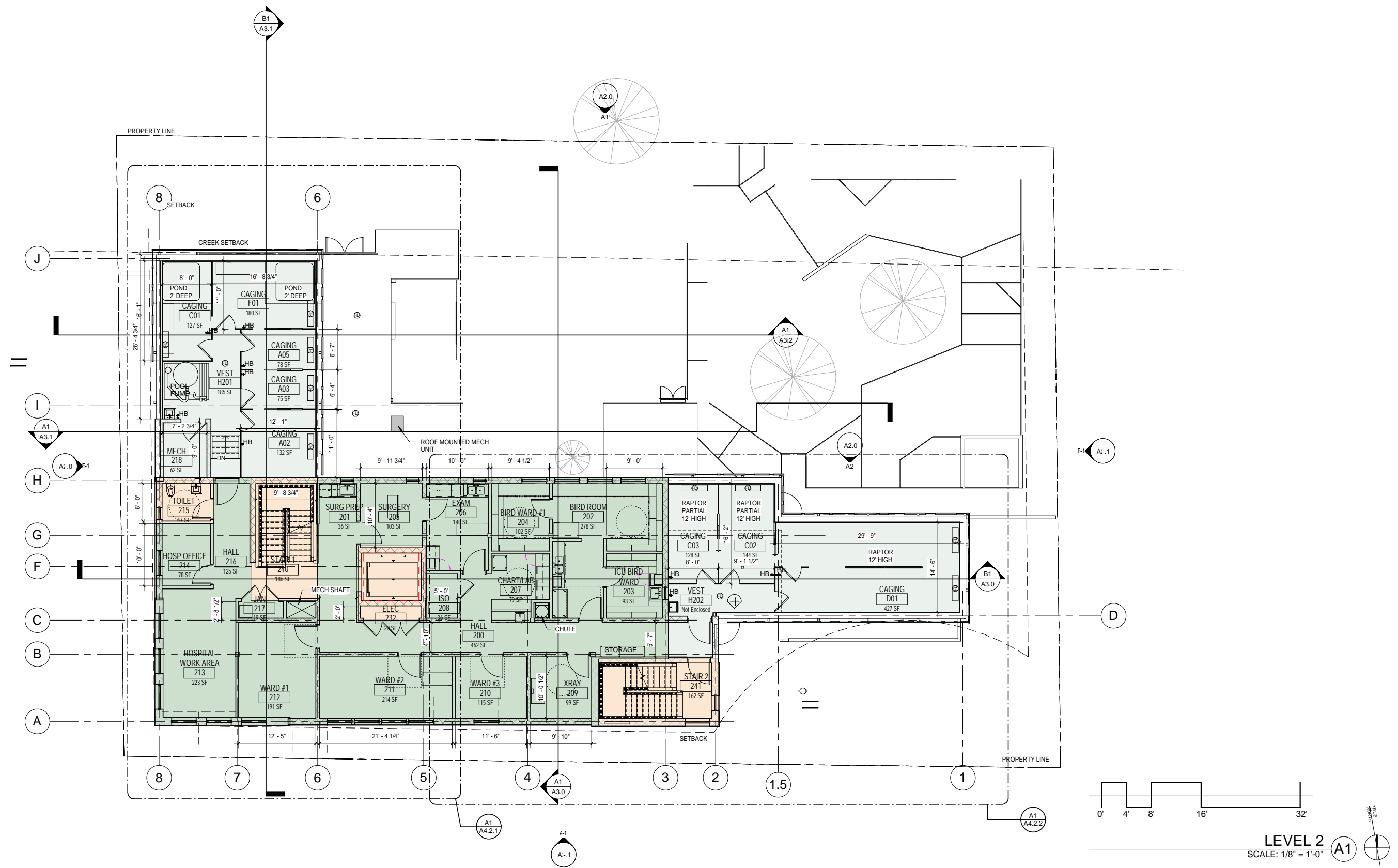
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FLOOR PLAN -  
LEVEL 2

SHEET NO. **A10**

## A1.2

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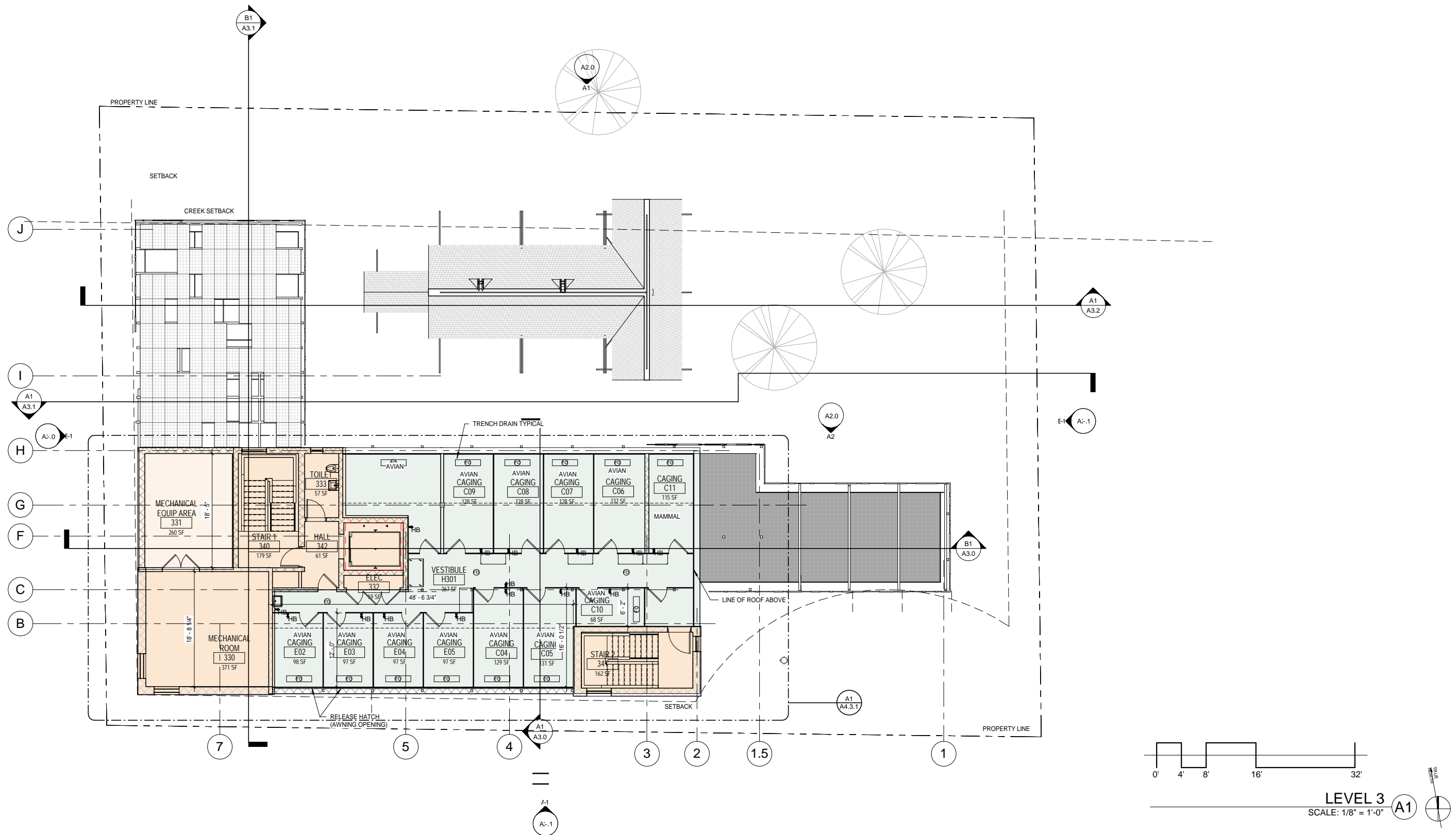
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FLOOR PLAN -  
LEVEL 3

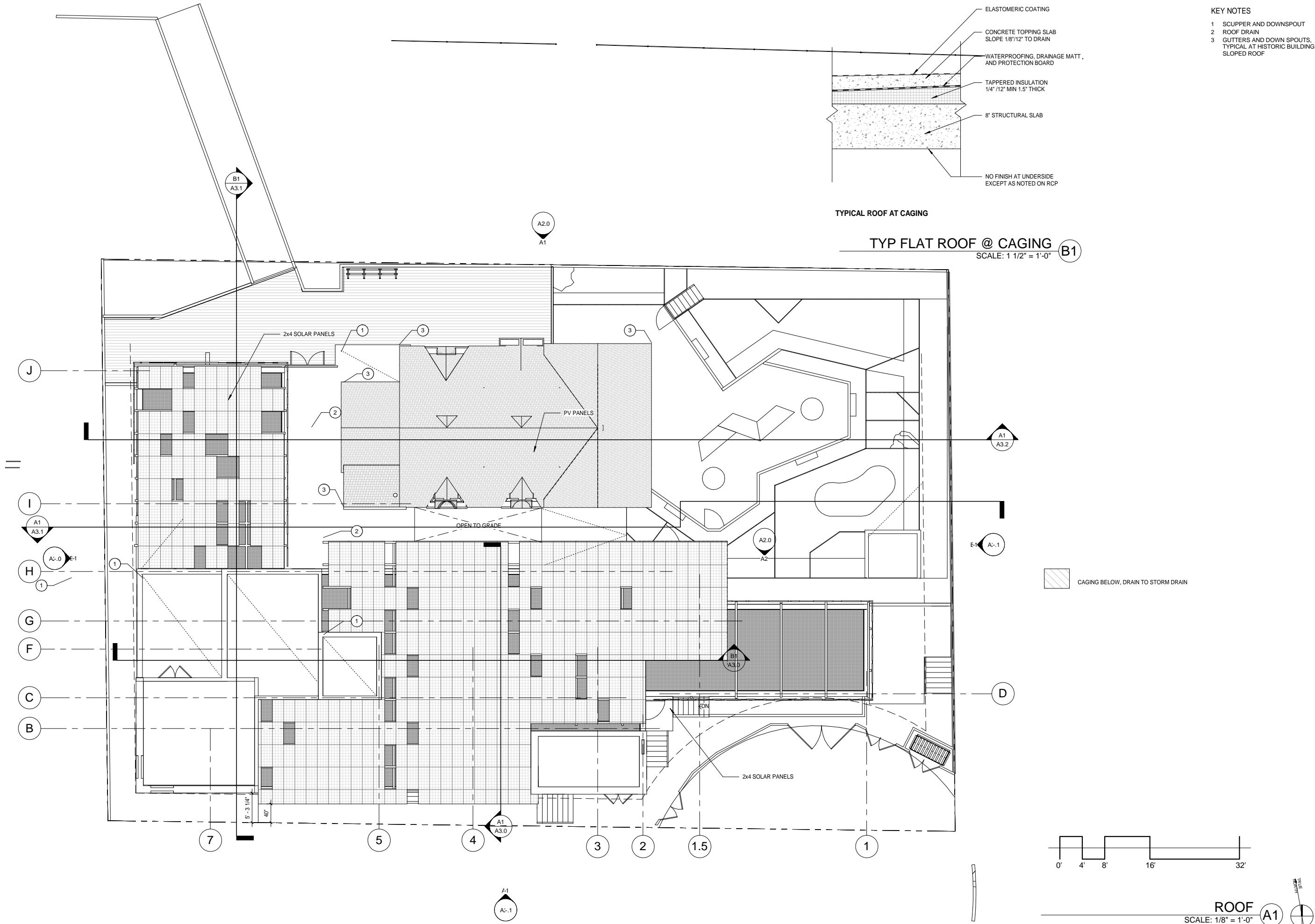
SHEET NO.

### A1.3

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- KEY NOTES
- 1 SCUPPER AND DOWNSPOUT
  - 2 ROOF DRAIN
  - 3 GUTTERS AND DOWN SPOUTS, TYPICAL AT HISTORIC BUILDING SLOPED ROOF

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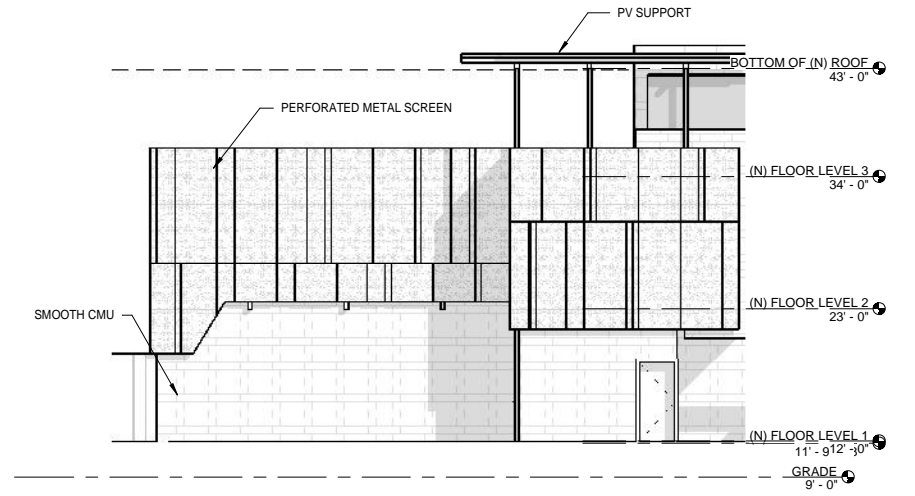
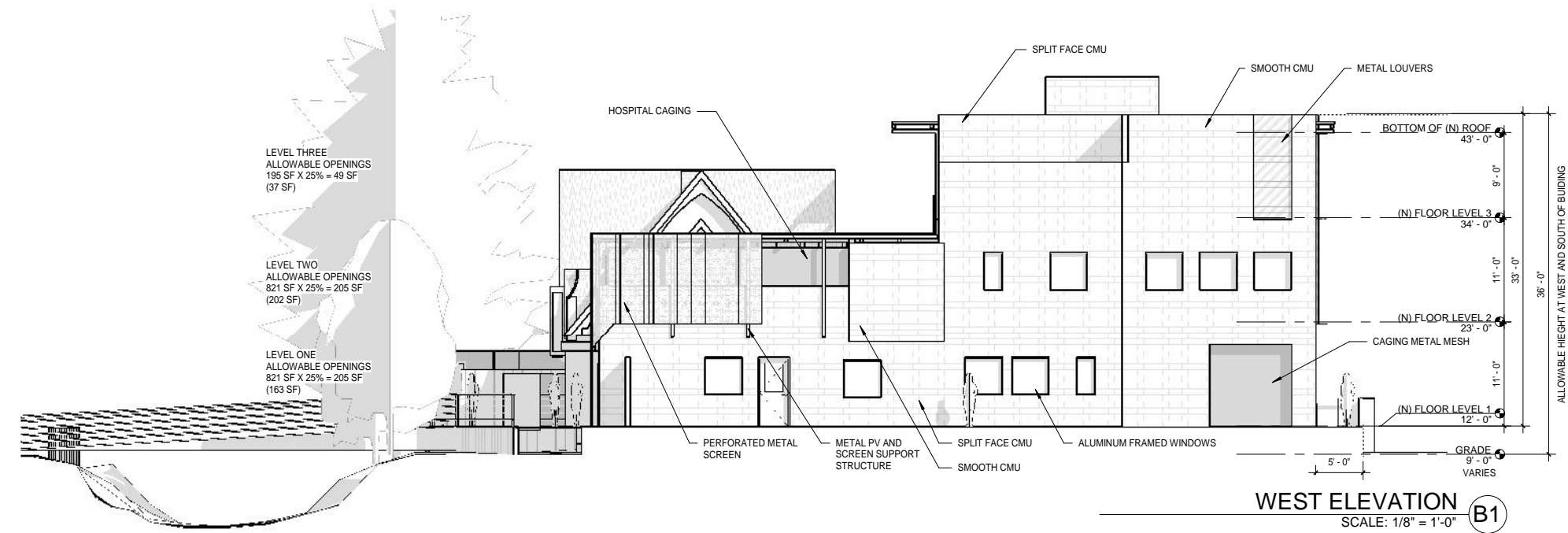
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SCALE As indicated  
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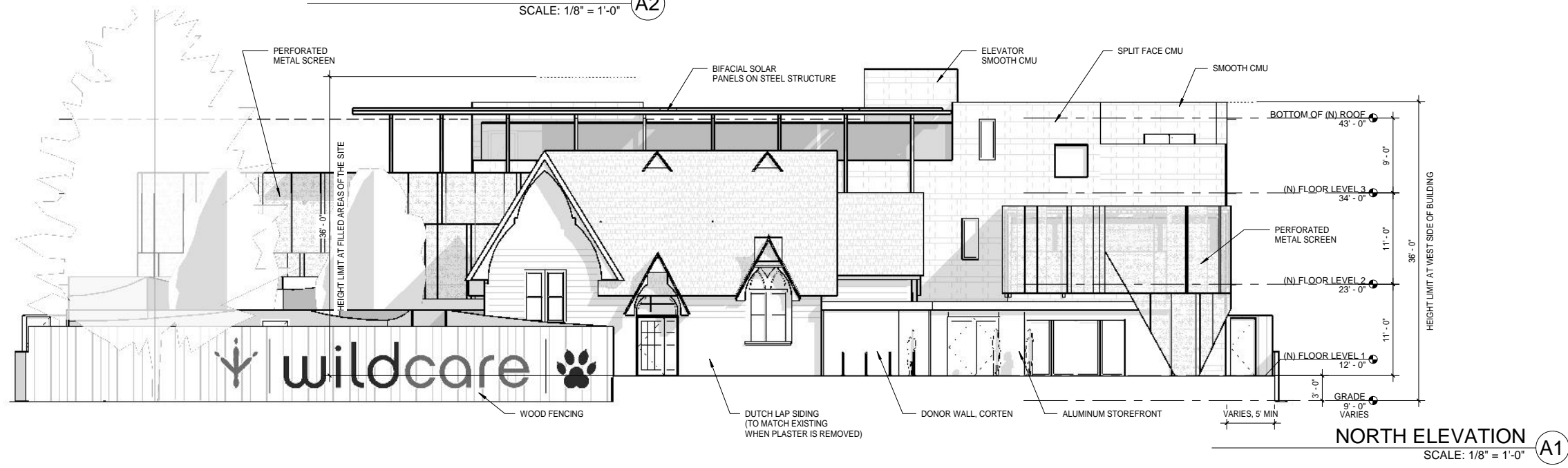
ROOF PLAN

SHEET NO.

A1.4



NORTH ELEVATION 2  
SCALE: 1/8" = 1'-0" A2



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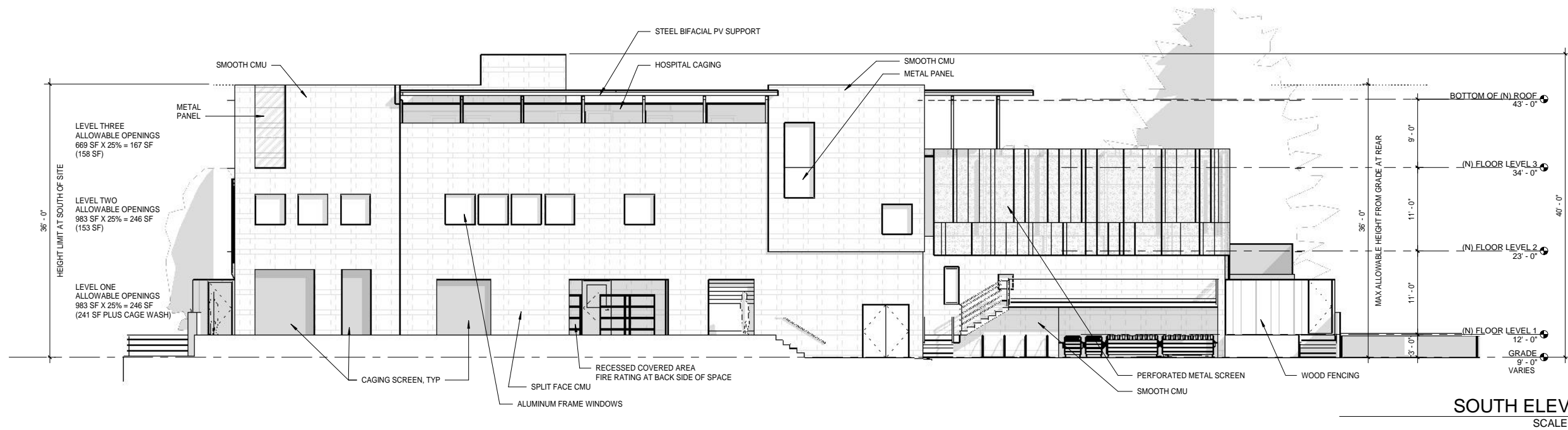
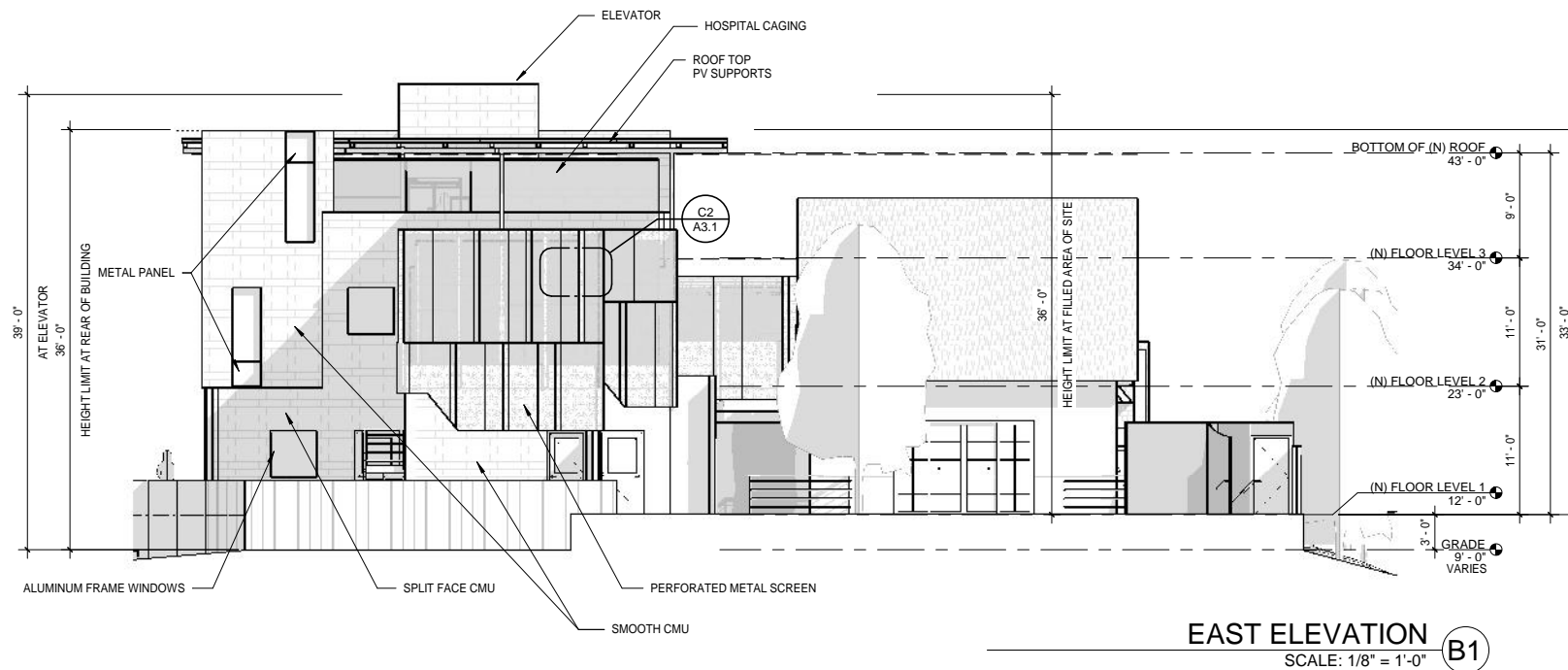
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SHEET TITLE	

EXTERIOR  
ELEVATIONS

SHEET NO.

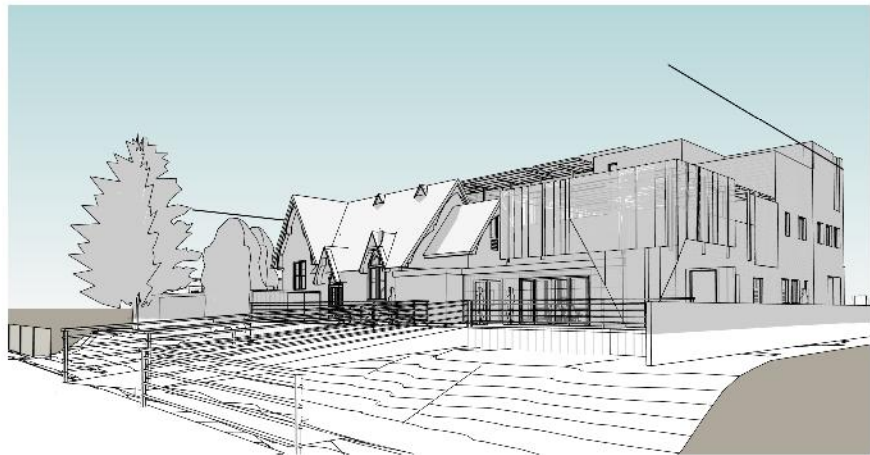
A2.1







FROM ALBERT PARK LANE  
SCALE: (B2)



ALBERT PARK LOOKING EAST  
SCALE: (A1)



FROM BRIDGE  
SCALE: (C1)



ALBERT PARK LOOKING WEST  
SCALE: (B1)



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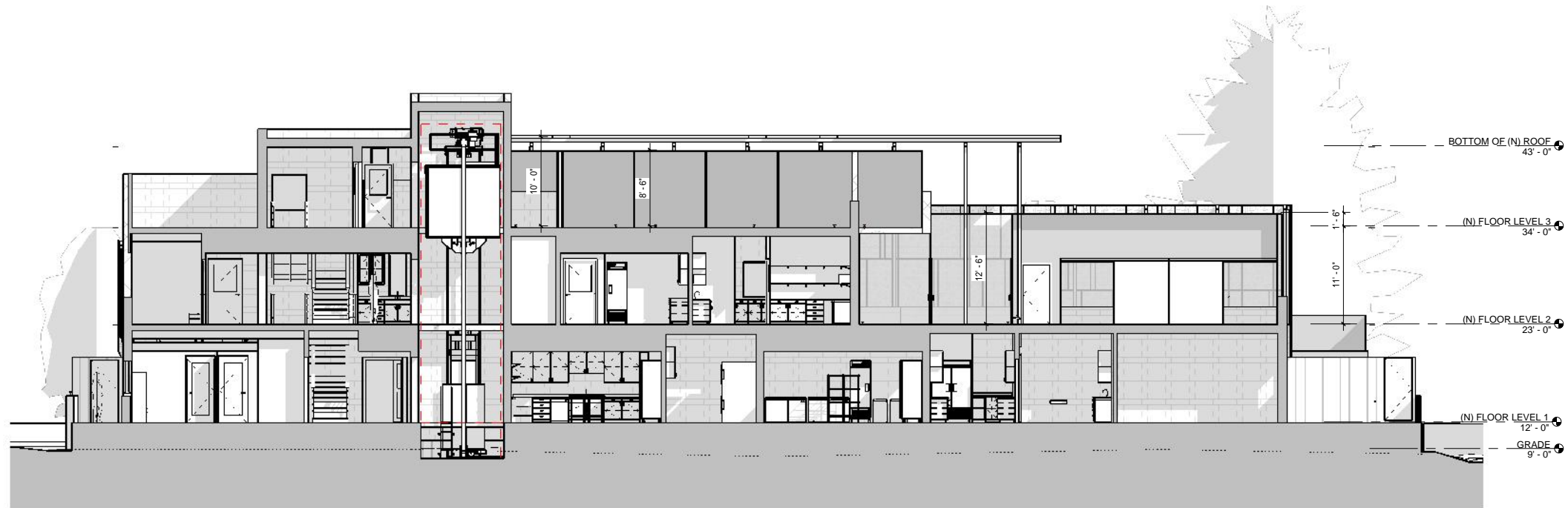
SCALE

SHEET TITLE

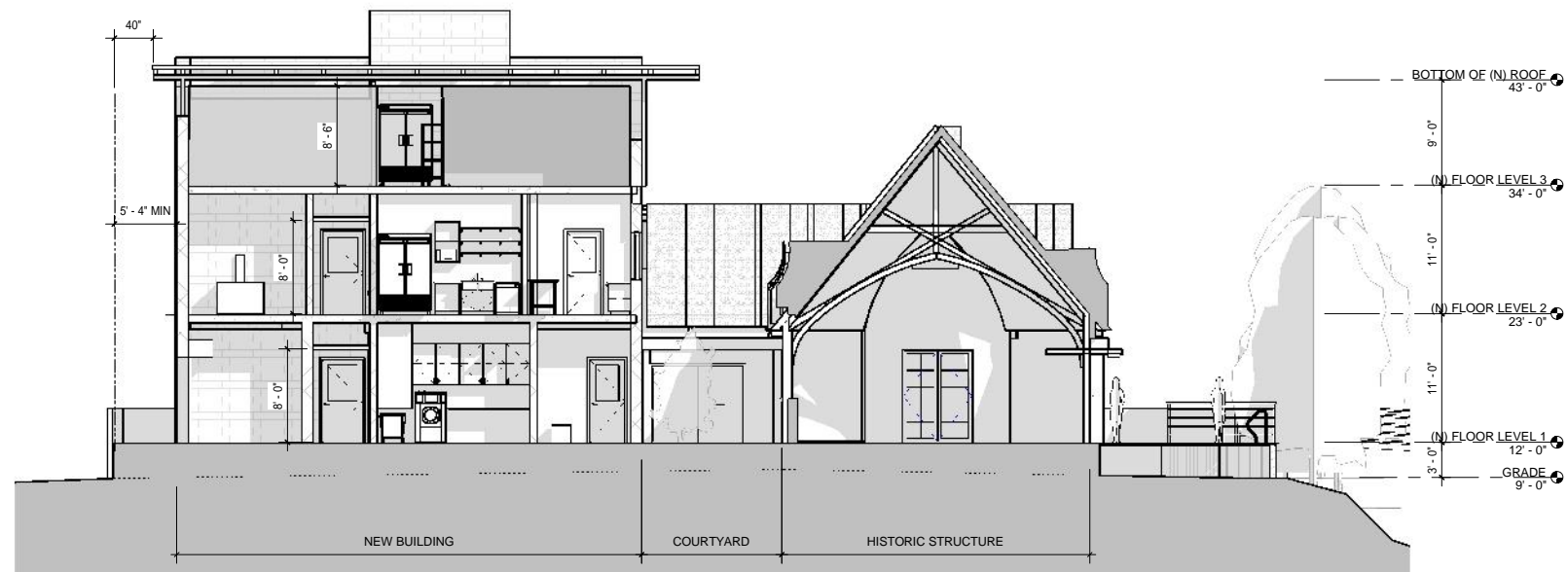
EXTERIOR VIEWS

SHEET NO.

A2.2



SECTION LOOKING NORTH (B1)  
SCALE: 1/8" = 1'-0"



SECTION LOOKING WEST (A1)  
SCALE: 1/8" = 1'-0"



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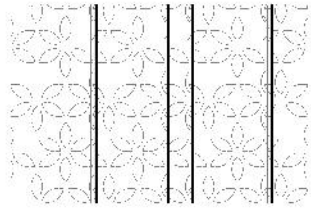
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BUILDING SECTIONS

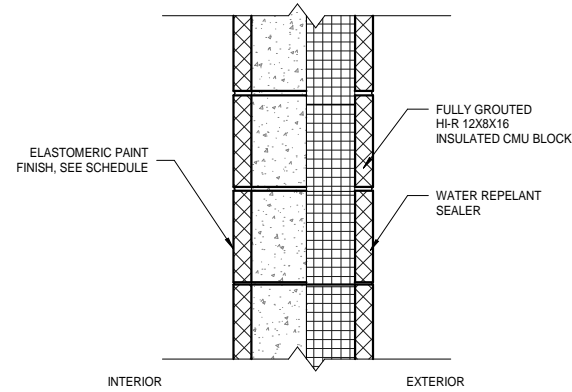
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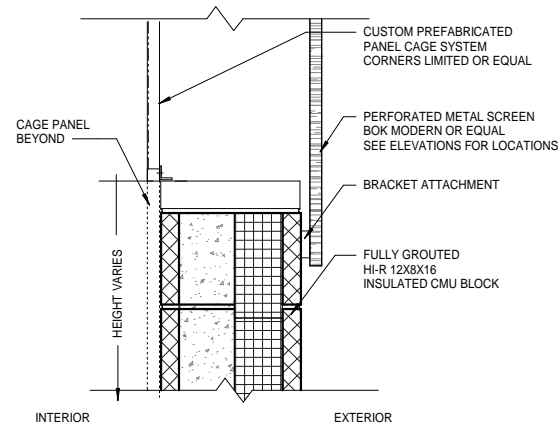
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TYPICAL PERFORATED  
SCREEN PATTERN - OR SIM  
SCALE: 1/2" = 1'-0" C2

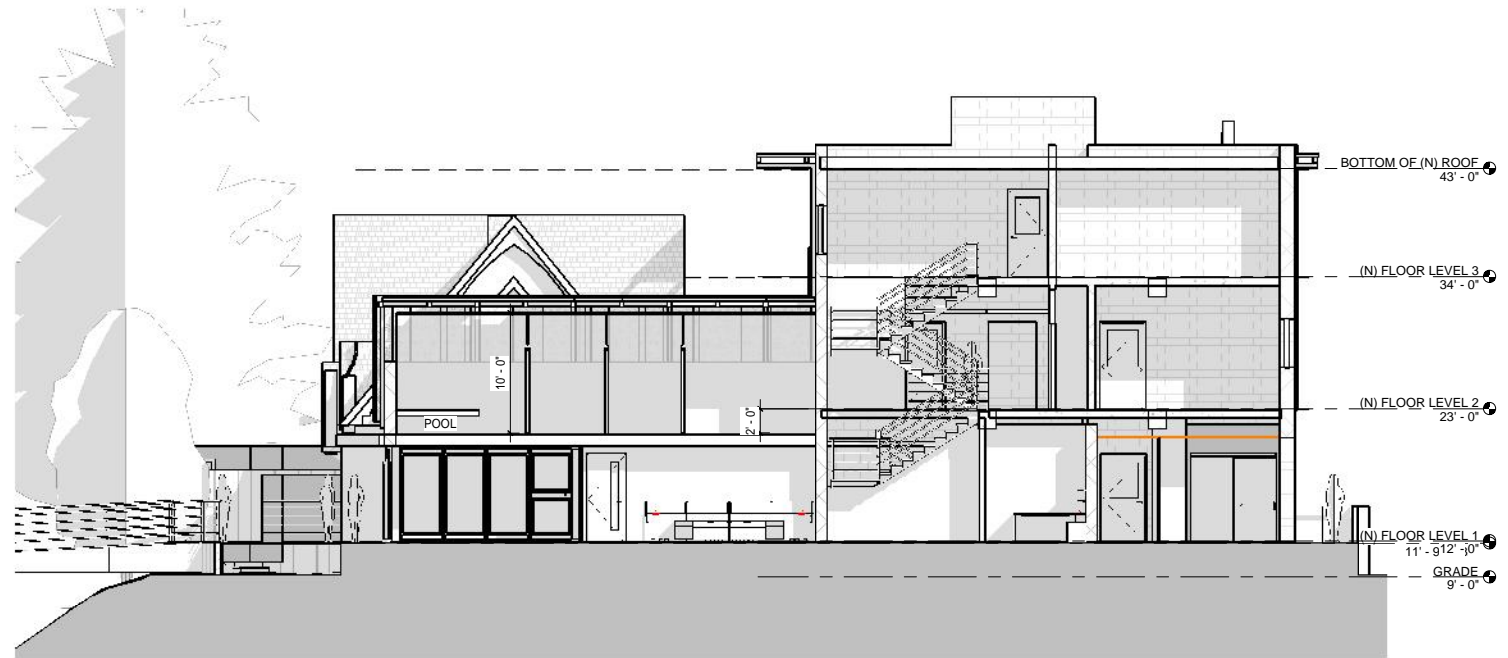


TYPICAL WALL SECTION AT NEW CONSTRUCTION

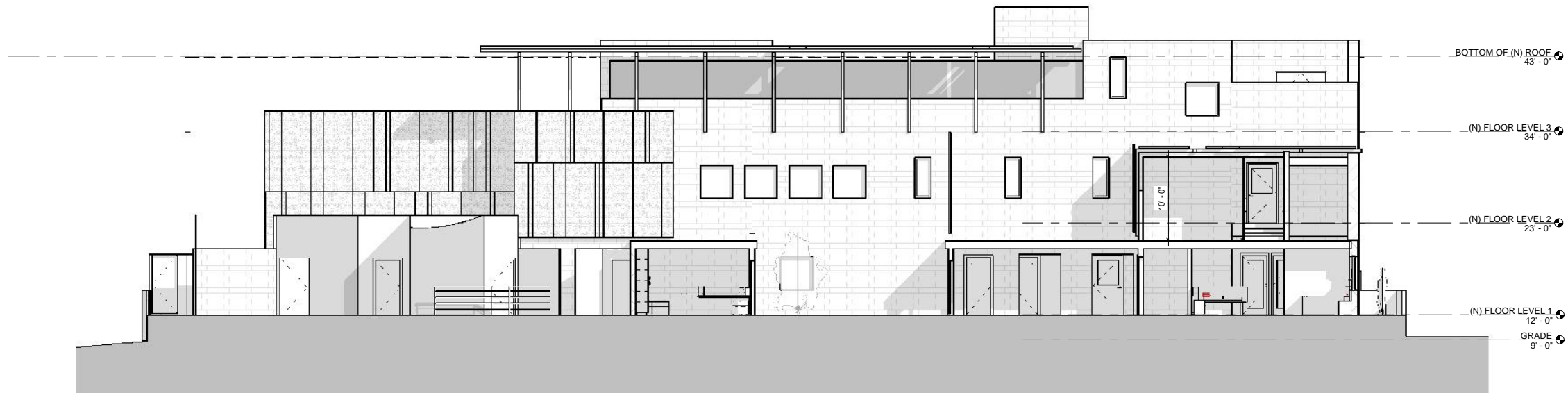


TYPICAL WALL SECTION AT ROOFTOP CAGING  
WITH SCREEN

TYP WALL ASSEMBLIES  
SCALE: 1 1/2" = 1'-0" B2



SECTION LOOKING EAST  
SCALE: 1/8" = 1'-0" B1



SECTION LOOKING SOUTH  
SCALE: 1/8" = 1'-0" A1



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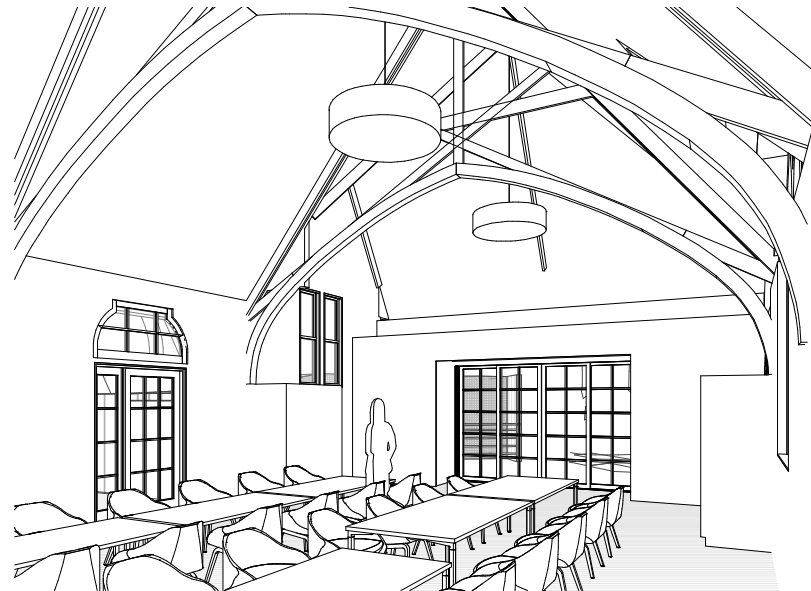
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BUILDING SECTIONS

SHEET NO.

A3.1

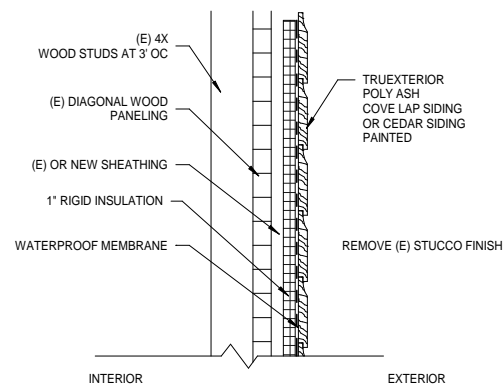




TERWILLIGER LOOKING EAST  
SCALE: (B2)



TERWILLIGER LOOKING WEST  
SCALE: (B1)



TYPICAL WALL SECTION AT HISTORIC BLDG

TYP HISTORIC WALL  
ASSEMBLY  
SCALE: 1 1/2" = 1'-0" (A2)



LOGITUDNAL SECTION  
LOOKING NORTH  
SCALE: 1/8" = 1'-0" (A1)



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**BLDG SECTION /  
INTERIOR VIEWS**  
SHEET NO.

**A3.2**